

SPECIAL EXCEPTION NO. 1330 STIPULATIONS

1. THE OUTDOOR GARDEN SUPPLY FACILITY SHALL BE LIMITED IN EXTENT TO THE AREA SHOWN ON THE DEVELOPMENT CONCEPT PLAN DATE STAMPED JANUARY 7, 1994, ATTACHED HERETO. (PLANS NOT INCLUDED IN THIS SUBMITTAL.)
2. A SIDEWALK SHALL BE CONSTRUCTED ALONG THE WESTERN SIDE OF THE EXISTING BUILDING, ADJACENT TO THE OUTDOOR GARDEN SUPPLY FACILITY. THE SIDEWALK SHALL BE CONSTRUCTED OF PERVIOUS MATERIAL, SHALL MEET THE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT, AND SHALL CONNECT TO THE SIDEWALK SYSTEM OF THE SHOPPING CENTER. THE SIDEWALK SHALL BE CONSTRUCTED WITH 60 DAYS OF THE DATE THE CHAIRMAN SIGNS THE RESOLUTION APPROVING THE SPECIAL EXCEPTION.

REDEVELOPMENT APPROVAL, NOVEMBER 15, 2006

THE CONSTRUCTION ACTIVITIES DEPICTED ON THIS SET OF PLANS ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED NORTH EAST PLAZA REDEVELOPMENT PROPOSAL, DATED NOVEMBER 15, 2006.

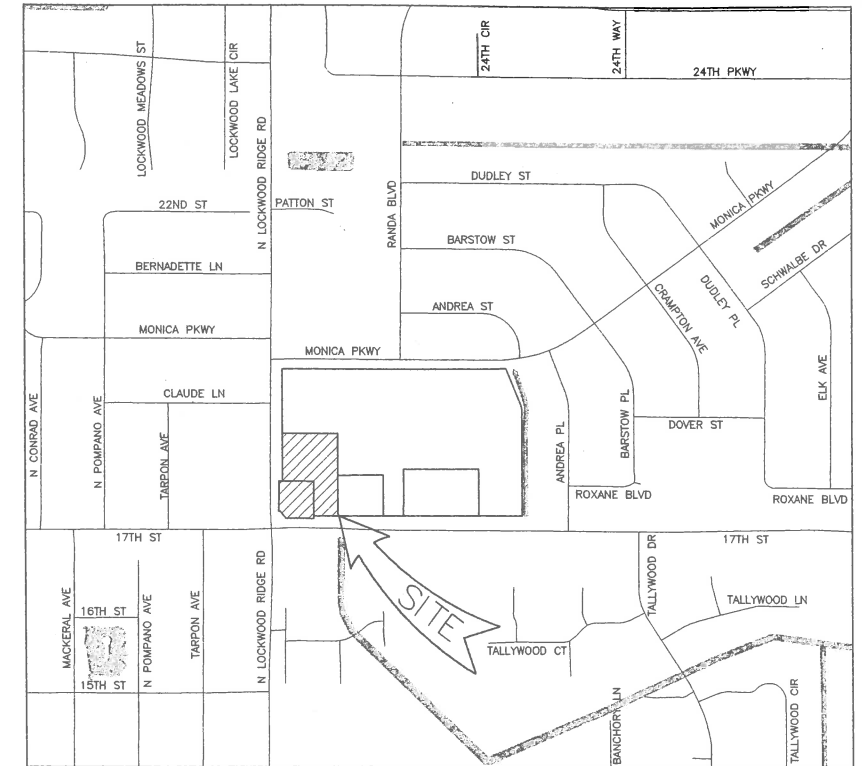
CONSTRUCTION PLANS

FOR

WALGREENS No.02085

IN

17TH ST AND N LOCKWOOD RIDGE RD
SARASOTA, FLORIDA 34235
SECTION 16, TOWNSHIP 36S, RANGE 18E



VICINITY MAP
SCALE: 1"=400'



DEVELOPMENT CONTACTS

OWNER:

LOCKWOOD 17, LLC.
2920 HIBISCUS DRIVE WEST
BELLEAIR BEACH, FL 33786
PHONE: (727) 742-9798

ARCHITECT

FISHER AND ASSOCIATES
2315 BELLEAIR ROAD
CLEARWATER, FLORIDA 33764
PHONE: (727) 443-4436
FAX: (727) 531-6653

CIVIL ENGINEER

BASKERVILLE-DONOVAN, INC.
6000 CATTLEBRIDGE DRIVE, SUITE 300
SARASOTA, FLORIDA 34232
PHONE: (941) 316-0411
FAX: (941) 316-9201

SURVEYOR:

DARRELL E. GERKEN PSM, INC.
5730A JASON LEE PLACE
SARASOTA, FLORIDA 34233
PHONE: (941) 924-7465
FAX: (941) 922-3846

LANDSCAPE ARCHITECT

DAVID W JOHNSTON ASSOCIATES, INC.
1491 SECOND STREET, SUITE B
SARASOTA, FLORIDA 34236
PHONE: (941) 366-3159
FAX: (941) 954-4616

UTILITY CONTACTS

WATER AND SANITARY SEWER:

AQUA SOURCE
6960 PROFESSIONAL PKWY. E. SUITE 400
SARASOTA, FL 34240
(941) 907-7400

ELECTRIC

FLORIDA POWER & LIGHT CO.
5657 NORTH MACINTOSH ROAD
SARASOTA, FL 34233
(940) 927-4251

CABLE

COMCAST CABLEVISION
5205 FRUITVILLE ROAD
SARASOTA, FL 34232
(941) 371-6700

SOLID WASTE:

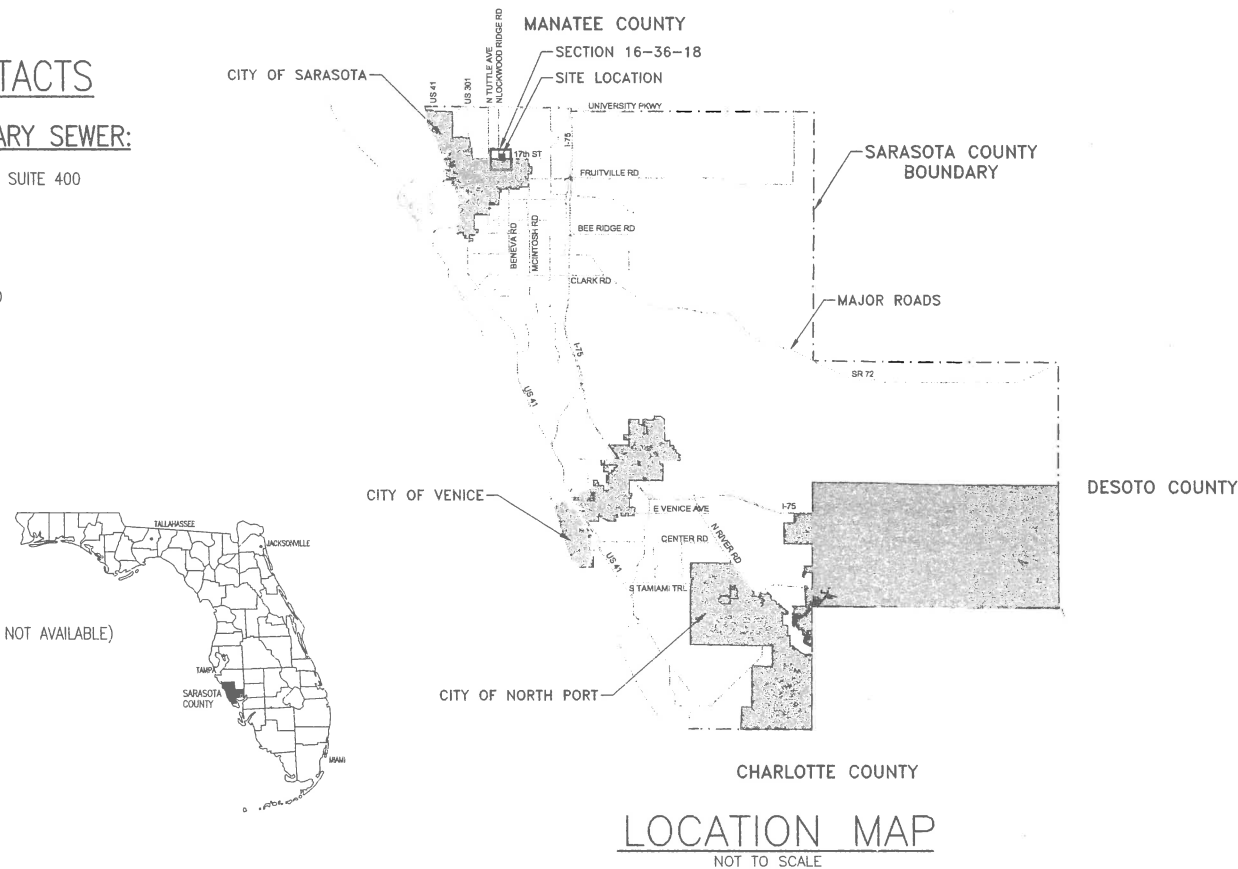
WASTE MANAGEMENT, INC.
5750 PICKNEY AVE
SARASOTA, FL 34233
(941) 924-1254

NATURAL GAS

TECO/PEOPLES GAS (SERVICE NOT AVAILABLE)
8261 VICO COURT
SARASOTA, FL 34240
(941) 342-4006

TELEPHONE

VERIZON TELEPHONE
1701 RINGLING BLVD
SARASOTA, FL 34236
(941) 906-6700



LOCATION MAP
NOT TO SCALE

INDEX WALGREENS No.02085

SHEET NUMBER	DESCRIPTION
C-00	COVER SHEET
C-01	AERIAL SITE PLAN
C-02	SITE DEMOLITION AND BMP PLAN
C-03	SITE DEVELOPMENT PLAN
C-04	PAVING, GRADING AND DRAINAGE PLAN
C-05	PAVING AND GRADING DETAILS
C-06	PAVING AND GRADING DETAILS
C-07	STORM WATER VAULT DETAILS
C-08	MASTER UTILITY PLAN
C-09	UTILITY DETAILS
C-09B	UTILITY DETAILS
C-10	MAINTENANCE OF TRAFFIC PLAN
C-11	CROSS SECTIONS



48 HOURS BEFORE YOU DIG
CALL SUNSHINE
1-800-432-4770
IT'S THE LAW IN FLORIDA
FL STATUTE 553.851 (1979) REQUIRES
MIN. OF 2 DAYS AND MAX. OF 5 DAYS
NOTICE BEFORE YOU EXCAVATE.



PROJECT No. 074601.01

REVISIONS		
DATE	BY	DESCRIPTION
07/06/07	JCS	REVISED PER COUNTY AND SWFWMD COMMENTS

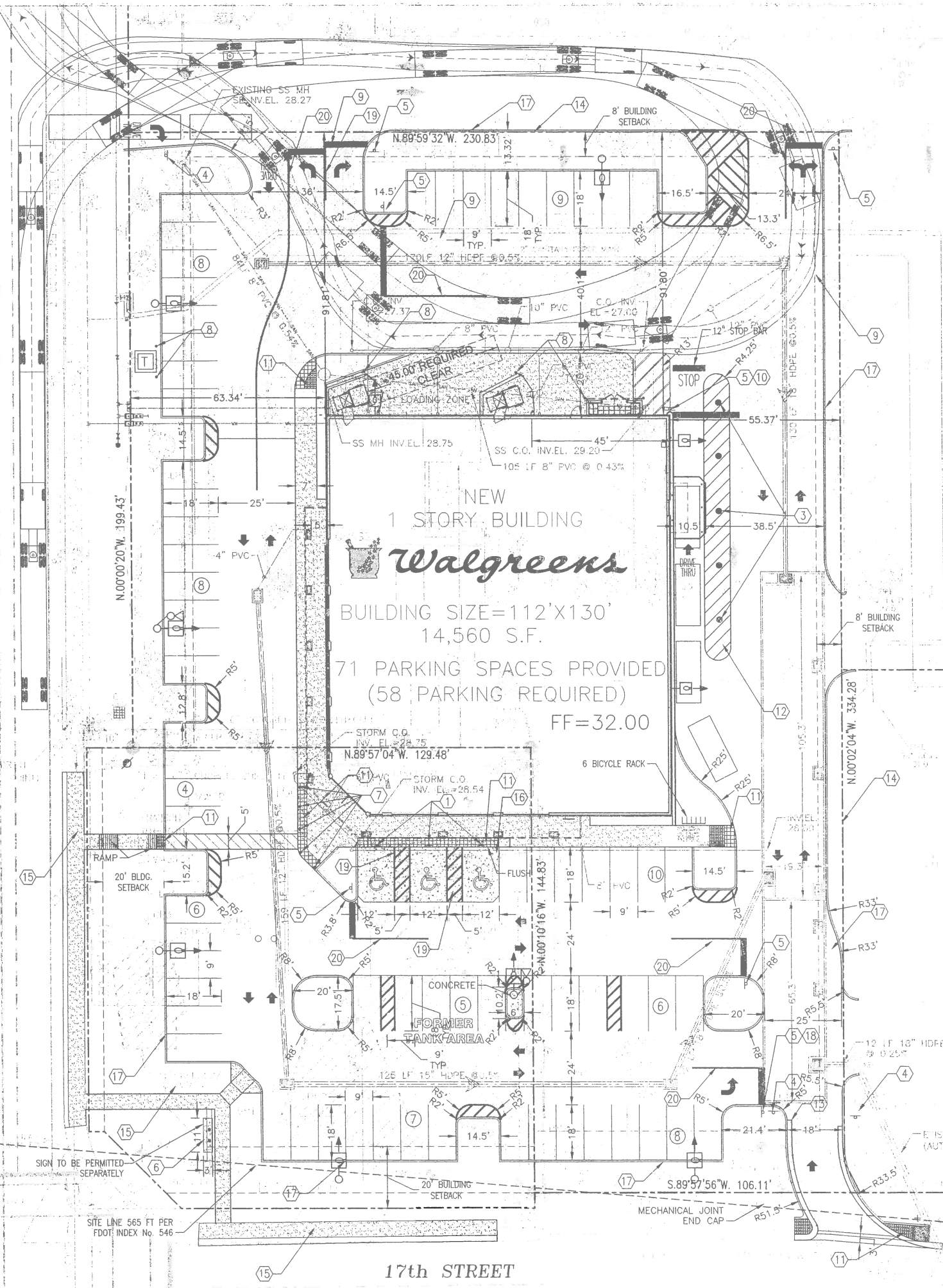
I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF THE DESIGN OF THIS PROJECT, AS PREPARED UNDER MY PERSONAL DIRECTION AND CONTROL COMPLIES WITH ALL APPLICABLE STANDARDS, INCLUDING THE "MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" AS ADOPTED BY THE FLORIDA DEPARTMENT OF TRANSPORTATION PURSUANT TO SUBSECTIONS 335.075(1) AND (4), FLORIDA STATUTES AND THE SARASOTA COUNTY LAND DEVELOPMENT REGULATIONS.

W. E. WHITE, P.E.
FL PE#53232

DATE: _____

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LOCKWOOD RIDGE RD



COUNTY BOILERPLATE NOTES:

ZONING

- OWNERSHIP AND UNIFIED CONTROL STATEMENT: THERE ARE TWO PARCELS INCLUDED IN THE PROPOSED PROJECT. PARCEL 0042-15-0019 IS WHOLLY OWNED BY WIN LOCKWOOD, LTD. PARCEL 0042-15-0018, LOT 4, IS CONTROLLED BY WIN LOCKWOOD, LTD. BY A PURCHASE CONTRACT. THE PURCHASE WILL BE COMPLETED WHEN THE SUBDIVISION PLAT IS RECORDED.
- CHARACTER AND INTENDED USE STATEMENT: THIS PROJECT INCLUDES THE CONSTRUCTION OF A RETAIL STORE TOGETHER WITH PARKING, UTILITIES, AND STORM WATER MANAGEMENT.
- MAINTENANCE OF COMMON FACILITIES STATEMENT: ALL SITE IMPROVEMENTS EXCEPT WHERE, NOTED ON THE PLANS, ARE TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNER AND SHALL NOT BE DEDICATED TO BE MAINTAINED BY THE PUBLIC.
- CLOSURE PLAN - THE OWNER OR THE LENDING INSTITUTION SHALL BE RESPONSIBLE FOR HIRING THE APPROPRIATE DEMOLITION/SITE CONTRACTORS TO REMOVE ANY STOCKPILED DEMOLITION, CONSTRUCTION AND VEGETATION DEBRIS SHOULD THE CONSTRUCTION ACTIVITIES CEASE. DISPOSAL OF SAID DEBRIS SHALL BE AT SITES APPROVED BY SOLID WASTE MANAGEMENT OR OTHER APPROPRIATE AGENCIES.
- LANDSCAPE PLANS SHALL COMPLY WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE #2001-081. (LOW VOLUME IRRIGATION, SOD AMOUNT, PLANT SELECTION)

TRAFFIC OPERATIONS

- ALL WORK SHALL BE DONE IN THE ACCORDANCE WITH THE SARASOTA COUNTY LAND DEVELOPMENT REGULATIONS. THE PROPOSED FACILITIES SHOWN ON THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, INCLUDING THE MANUAL OF UNIFORM MINIMUM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS.
- THIS PLAN COMPLIES WITH THE AMERICANS WITH DISABILITIES ACT AND THE FLORIDA ACCESSIBILITY CODE.
- ALL PAVEMENT MARKINGS SHALL BE 90 MILS ALKYD THERMOPLASTIC; OTHER THAN THE EDGE LINES, WHICH ARE 60 MILS AND THE BICYCLE LANE SYMBOLS, WHICH SHALL BE 30 MILS.
- ALL ROADWAY AND DRAINAGE RELATED CONCRETE SHALL BE A MINIMUM OF 3,000 PSI IN STRENGTH AT THE 28 DAYS BREAK.
- ALL STORM PIPING SHALL MAINTAIN MINIMUM COVER AS PER FDOT INDEX #205.
- ALL DRAINAGE CULVERT JOINTS SHALL BE WRAPPED PER FDOT INDEX No.280
- ALL SIGNING AND MARKING ON SITE AND OFFSITE SHALL COMPLY WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL SIGN PLATES SHALL BE MADE OF 5052 ALUMINUM AND COVERED WITH 3M DIAMOND GRADE SHEETING SERIES 4000 OR CURRENT COUNTY STANDARDS. ALL SIGNS SHALL BE ATTACHED WITH ALUMINUM DRIVE RIVETS.
- THE TAPCO V-LOC VS1P-350 SYSTEM (OR AN EQUIVALENT) SHALL BE EMPLOYED WHERE SIGNS POSTS ARE INSTALLED IN PAVED OR MEDIAN AREAS.

FIRE MARSHAL

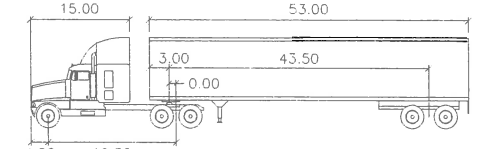
- CONSTRUCTION SITE MUST COMPLY WITH NFPA241, I.E. WATER SUPPLY.

HISTORIC RESOURCES

- IF EVIDENCE OF THE EXISTENCE OF HISTORIC RESOURCES IS DISCOVERED OR OBSERVED AT DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITIES AFTER FINAL APPROVAL, ALL WORK SHALL CEASE IN THE AREA OF EFFECT AS DETERMINED BY THE DIRECTOR. THE DEVELOPER, OWNER, CONTRACTOR, OR AGENT THEREOF SHALL NOTIFY THE DIRECTOR OF HISTORICAL RESOURCES WITHIN TWO WORKING DAYS. EXAMPLES OF EVIDENCE OF HISTORIC RESOURCES INCLUDE WHOLE OR FRAGMENTARY STONE TOOLS, SHELL TOOLS, ABORIGINAL OR HISTORIC POTTERY, HISTORIC GLASS, HISTORIC BOTTLES, BONE TOOLS, HISTORIC BUILDING FOUNDATIONS, SHELL MOUNDS, SHELL MIDDENS, OR SAND MOUNDS. THE DIRECTOR SHALL ASSESS THE SIGNIFICANCE OF THE FINDS WITHIN THREE WORKING DAYS OF NOTIFICATION AND TO MITIGATE AND ADVERSE EFFECTS SO AS TO MINIMIZE DELAYS TO DEVELOPMENT ACTIVITIES.
- IF ANY HUMAN SKELETAL REMAINS OR ASSOCIATED BURIAL ARTIFACTS ARE DISCOVERED A DEVELOPMENT SITES OR DURING DEVELOPMENT ACTIVITY, ALL WORK IN THE AREA MUST CEASE, AND THE PERMITTEE MUST IMMEDIATELY NOTIFY THE NEAREST LAW ENFORCEMENT OFFICE AND NOTIFY THE DEPARTMENT OF HISTORICAL RESOURCES, WITHIN TWO WORKING DAYS, ACCORDING TO CHAPTER 872, FLORIDA STATUTES, IT IS UNLAWFUL TO DISTURB, VANDALIZE, OR DAMAGE A HUMAN BURIAL.

SITE DATA

- PROPERTY I. D. NUMBER:
PID# 0042-15-0019 AREA = 20,654 SF
PID# 0042-15-0018, LOT 4 AREA = 60,753 SF
TOTAL = 81,407 SF
- 1700 LOCKWOOD RIDGE ROAD
- PROJECT ZONING: "CG"
- PROPOSED USE: COMMERCIAL
- EXISTING LAND USE: COMMERCIAL
- FUTURE LAND USE: COMMERCIAL
- REQUIRED SETBACKS:
FRONT: 20 FT
SIDE: 8 FT
REAR: 10 FT
- BUILDING DETAIL:
CONSTRUCTION MATERIALS INCLUDE CMU WALLS AND STEEL STRUCTURE ROOF
BUILDING COVERAGE AREA = 14,560 / 81,407 * 100 = 18%
- PARKING CONSIDERATION:
REQUIRED PARKING: 14,560 SF/250 SF/SPACE = 58 SPACES
PROPOSED PARKING: 71 SPACES INCLUDING 3 ACCESSIBLE SPACES
NOTE: THE PARKING SPACES PROVIDED ON THIS SITE ARE TO BE INCLUDED WITH THE "SHARED" PARKING SPACES IN ACCORDANCE WITH THE APPROVED "NORTH EAST PLAZA REDEVELOPMENT PROPOSAL, DATED NOVEMBER 15, 2006.
- THIS SITE IS TO BE CONSTRUCTED IN ONE PHASE.
- THE PARCEL SHOWN HEREON IS SITUATED IN FLOOD ZONE "C" PER FLOOD INSURANCE RATE MAP, COMMUNITY 125144, PANEL 0132 D, DATED 09/03/92.



Tractor Width	: 6.00	Lock to Lock Time	: 6.00
Trailer Width	: 6.50	Steering Angle	: 28.40
Tractor Track	: 8.00	Articulating Angle	: 70.00
Trailer Track	: 8.50		

AIR AND WATER QUALITY PROTECTION

- EROSION AND SEDIMENTATION CONTROL BMPs IN ADDITION TO THOSE PRESENTED ON THE PLANS AND OUTLINED IN THE EROSION AND SEDIMENTATION CONTROL PLAN (ECP) OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE IMPLEMENTED AS NECESSARY TO PREVENT TURBID DISCHARGES FROM FLOWING ONTO ADJACENT PROPERTY OR ROADWAYS, OFFSITE STORM WATER CONVEYANCES, OR OFFSITE RECEIVING WATERS. BMPs SHALL BE DESIGNED, INSTALLED, AND MAINTAINED BY THE SITE OPERATOR TO ENSURE THAT OFF SITE SURFACE WATER QUALITY REMAINS CONSISTENT WITH STATE AND LOCAL REGULATIONS. (THE OPERATOR IS THE ENTITY THAT OWNS OR OPERATES THE CONSTRUCTION ACTIVITY AND HAS AUTHORITY TO CONTROL THOSE ACTIVITIES AT THE PROJECT NECESSARY TO ENSURE COMPLIANCE.)
- OFFSITE SURFACE WATER DISCHARGES WITH TURBIDITY IN EXCESS OF 29 NEPHELOMETRIC TURBIDITY UNITS (NTUS) SHALL BE IMMEDIATELY CORRECTED. SUCH INCIDENTS SHALL BE REPORTED TO WATER RESOURCES WITHIN 24 HOURS OF THE OCCURRENCE 941.861.5000 OR FAX 941.861.0986. THE REPORT SHALL INCLUDE CAUSE OF THE DISCHARGE AND CORRECTIVE ACTIONS TAKEN.
- THE OPERATOR SHALL ENSURE THAT ADJACENT PROPERTIES ARE NOT IMPACTED BY WIND EROSION OR EMISSIONS OF UNCONFINED PARTICULATE MATTER IN ACCORDANCE WITH RULE 62-296.320(4)(C)1., FLORIDA ADMINISTRATIVE CODE, FROM THE CONSTRUCTION SITE BY TAKING ADEQUATE MEASURES TO STABILIZE AFFECTED AREAS.
- FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ENTER STORM WATER DRAINS OR WATER BODIES, OR FUEL AND OTHER PETROLEUM PRODUCT SPILLS THAT ARE IN EXCESS OF 25 GALLONS SHALL BE CONTAINED, CLEANED UP AND IMMEDIATELY REPORTED TO WATER RESOURCES 941.861.5000; FAX 941.861.0986. SMALLER GROUND SURFACE SPILLS SHALL BE CLEANED UP AS SOON AS PRACTICAL.
- AN ASBESTOS SURVEY AND/OR ASBESTOS PROJECT NOTIFICATION MAY BE REQUIRED PRIOR TO DEMOLITION OF THE EXISTING ONSITE BUILDINGS. THE CONTRACTOR AND/OR DEVELOPER MAY CONTACT MR. JOHN LOWER, ENVIRONMENTAL SPECIALIST II, SARASOTA COUNTY ENVIRONMENTAL SERVICES AT (941) 861-6233.
- THIS SITE IS PRESENTLY DEVELOPED AND OCCUPIED, AS SUCH, THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS AND NO ANIMAL HABITATS WITHIN THE AREAS PROPOSED FOR CONSTRUCTION ACTIVITIES.
- ANY WELLS DISCOVERED ON SITE DURING CONSTRUCTION ACTIVITIES SHALL BE REPORTED TO THE SARASOTA COUNTY HEALTH DEPARTMENT, OFFICE OF ENVIRONMENTAL ENGINEERING WITHIN 24 HOURS AFTER DISCOVERY IS MADE.
- ANY WATER OR MONITORING WELL ON SITE THAT WILL HAVE NO USE MUST BE PLUGGED BY A LICENSED WELL DRILLING CONTRACTOR IN AN APPROVED MANNER.
- IF CONTAMINATED SOIL AND/OR GROUND WATER IS DISCOVERED DURING DEVELOPMENT OF THE SITE, ALL ACTIVITY IN THE VICINITY OF THE CONTAMINATION SHALL IMMEDIATELY CEASE, AND WATER RESOURCES SHALL BE CONTACTED (PHONE: 941.861.5000; FAX: 941.861.0986).

UTILITY DEPARTMENT

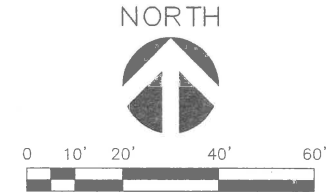
- THIS PROJECT REQUIRES A DEP WATER CONSTRUCTION PERMIT (OBTAINED BY ENGINEER) AND REQUIRES SARASOTA COUNTY UTILITIES CONSTRUCTION PERMIT (OBTAINED BY CONTRACTOR).
- PROPER BACK FLOW PREVENTION DEVICES MUST BE INSTALLED AND CERTIFIED ON THE CENTRAL WATER CONNECTION FOR POTABLE WATER AND FOR THE FIRE SERVICE.

TREE PROTECTION

- A TREE REMOVAL AND PROTECTION PERMIT WILL BE REQUIRED PRIOR TO ANY TREE REMOVAL OR CONSTRUCTION.

PERMITTING

- A SEPARATE BUILDING PERMIT WILL BE REQUIRED PRIOR TO CONSTRUCTION OF ANY RETAINING WALL SYSTEM AND ALL MASONRY OR ENGINEERED STYROFOAM PRIVACY WALLS.



CONSTRUCTION NOTES:

- ACCESSIBLE PARKING SIGN
- 4" DIA PIPE BUMPER
- 36" H FLEXIBLE DELINEATOR POSTS
- DO NOT ENTER SIGN (R5-1)
- MIN. 24" OCTAGONAL REFLECTIVE ALUMINUM STOP SIGN (R1-1) AND 12" STOP BAR
- READER BOARD PYLON SIGN WITH 11'X3' CONCRETE PAD
- ENTRY BOLLARDS W/ POLYETHYLENE COVERS
- BOLLARDS (TYP.)
- HEAVY DUTY ASPHALT PAVING
- ONE WAY, DO NOT ENTER SIGNS
- DETECTABLE WARNING SURFACE(TYP.)-FDOT INDEX No.304 (DETAIL ON SHEET C-05)
- WHITE STRIPED MEDIAN (TYP.)
- END OF FDOT TYPE "T" CURB, BEGIN TYPE "D" CURB (SHEET C-06, DET.13)
- WALGREENS PROPERTY LINE (TYP.)
- CONCRETE SIDEWALK
- HANDICAP SPACE (TYP.) - BLACK PIGMENTED CONCRETE
- TYPE "D" CURB
- NO RIGHT TURN SIGN (R3-1)
- 6" WHITE STRIPE (FDOT INDEX No.17346)
- 6" YELLOW SOLID STRIPE

GENERAL CONSTRUCTION NOTES

- PROVIDE A 2 FEET WIDE STRIP OF SOD AT THE BACK OF CONSTRUCTED CURBS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE PLAN.
- STRIPPING CONTRACTOR SHALL PROVIDE SIGNAGE AND TRAFFIC CONES TO ALERT DRIVERS OF TEMPORARY DRIVEWAY CLOSURES.

WAYNE E. WHITE
P.E. NO. 53232

BASKERVILLE-DONOVAN, INC.
INNOVATIVE INFRASTRUCTURE SOLUTIONS
PENSACOLA ■ PANAMA CITY ■ TALLAHASSEE ■ MOBILE
6000 Catteridge Drive, SUITE 300
SARASOTA, FLORIDA 34232 - (941) 316-0411
ENGINEERING BUSINESS: EB-0000340

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2920 HIBISCUS DRIVE WEST
BELLEAIR BEACH, FL 33786

WALGREENS No.02085

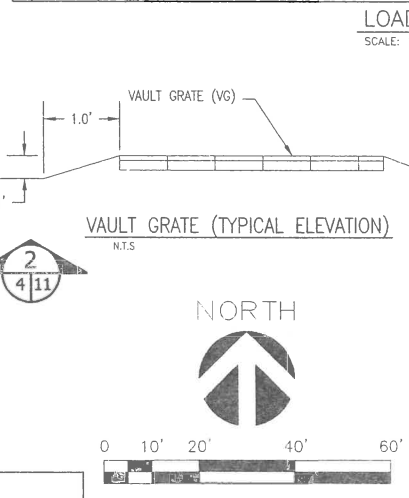
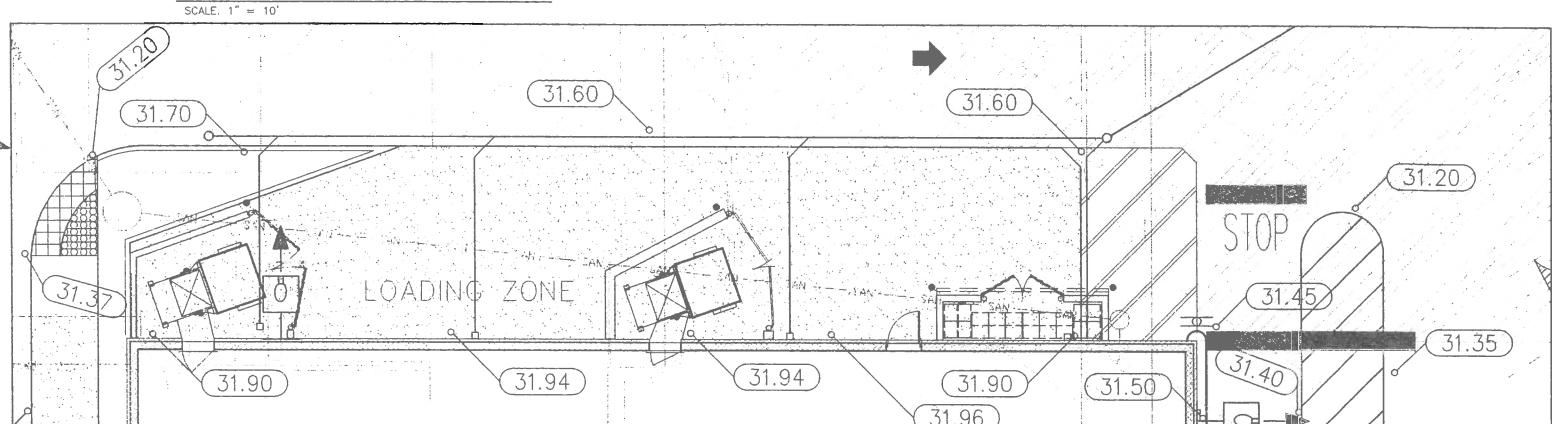
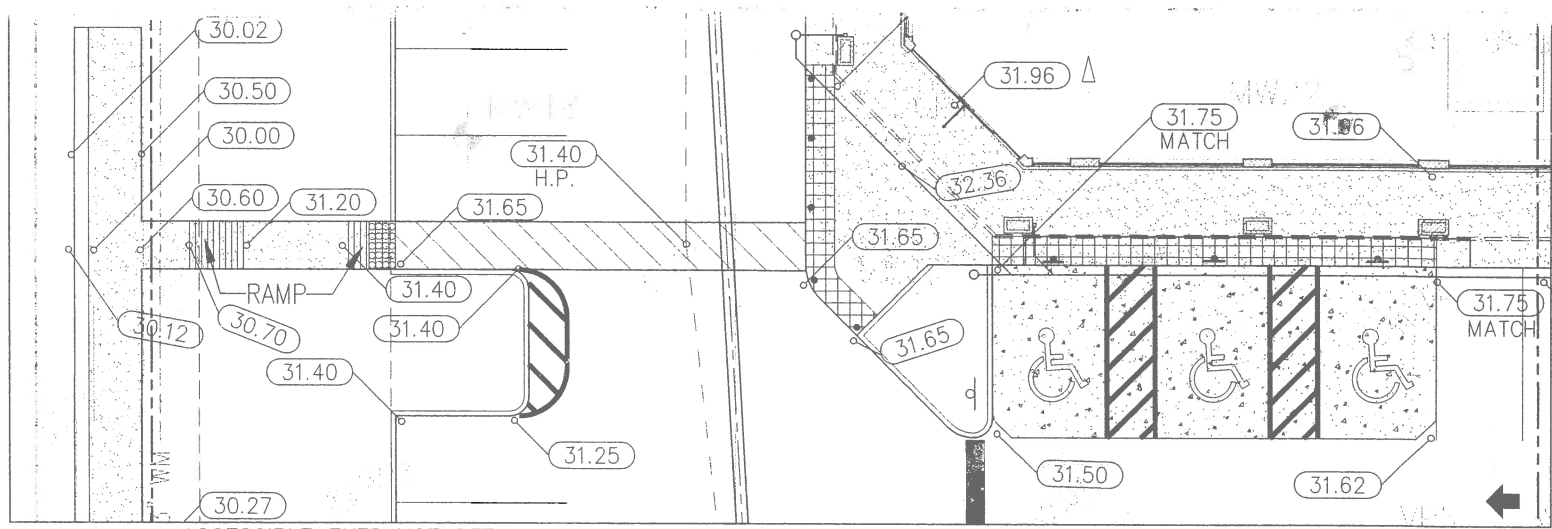
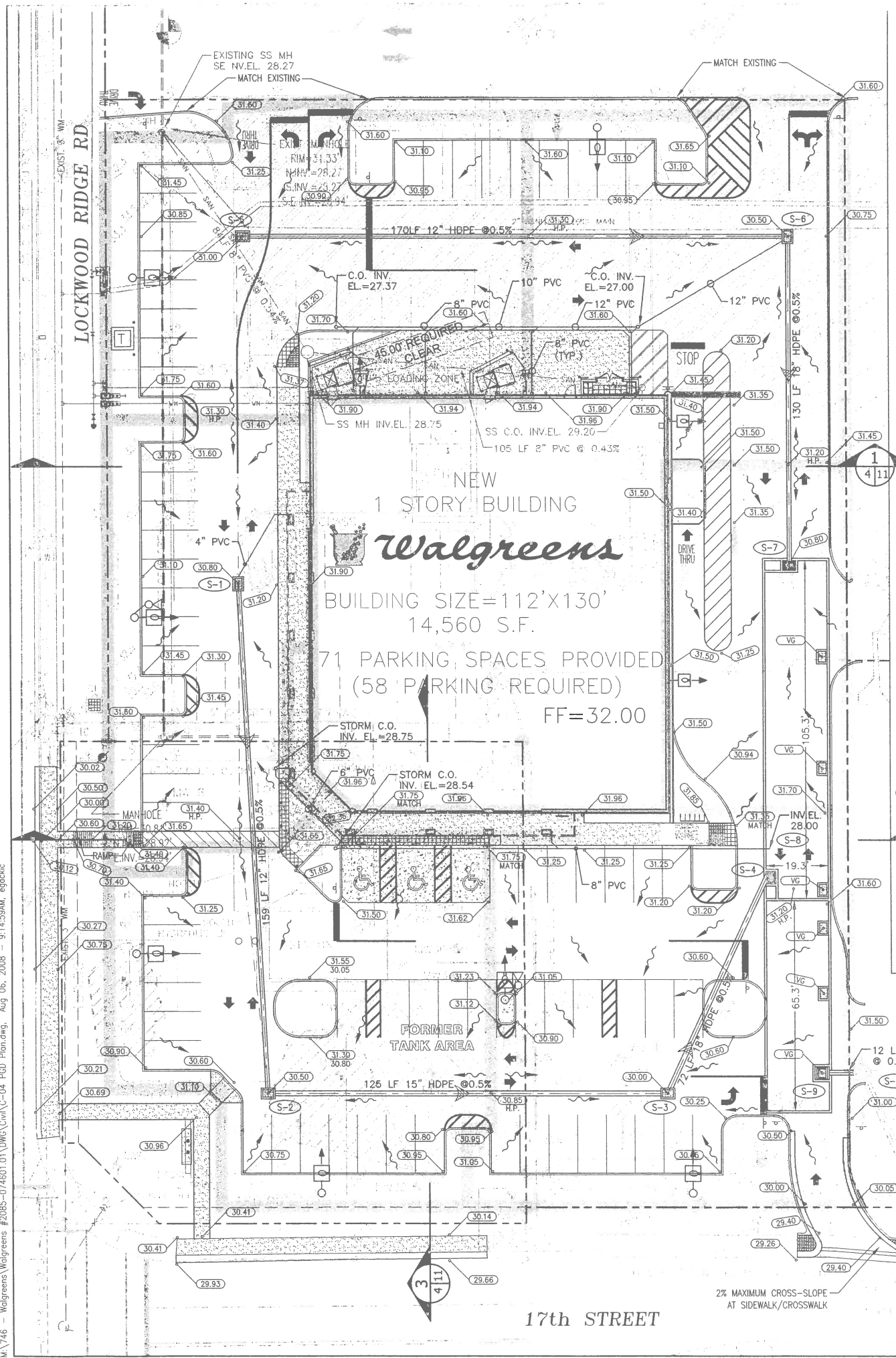
NO.	DATE	APPR.	REVISION/ACTION TAKEN
1	07/06/07	JGS	REVISED PER COUNTY & SFWMD COMMENTS
2	05/20/08	WEW	REVISED DRIVE THRU

PROJECT NO: 074601.01
DESIGNED BY: JGS
DRAWN BY: EG
CHK'D BY: WEW
PROJ. MGR: WEW
DATE: 04/2008

CONSTRUCTION PLANS
SITE DEVELOPMENT PLAN

C-03

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STORM STRUCTURE TABULATION:

- S-1 GRATE INLET TYPE "C"
 GRATE EL. 30.80
 SOUTH INV. EL. 27.98
 BASIN AREA=0.191 Ac (PERVIOUS AREA=0.040 Ac)
- S-2 GRATE INLET TYPE "C"
 GRATE EL. 30.50
 NORTH INV. EL. 27.18
 EAST INV. EL. 27.08
 BASIN AREA=0.275 Ac (PERVIOUS AREA=0.044 Ac)
- S-3 GRATE INLET TYPE "C"
 GRATE EL. 30.00
 WEST INV. EL. 26.46
 NORTHEAST INV. EL. 26.36
 BASIN AREA=0.316 Ac (PERVIOUS AREA=0.039 Ac)
- S-4 SEDIMENT SUMP STRUCTURE
 RIM EL. 31.00
 EAST INV. EL. 26.00 (PIPE IN)
 WEST INV. EL. 26.00 (VAULT OPENING)
 BAFFLE BOTTOM EL. 25.00
 BOTTOM EL. 24.00
- S-5 GRATE INLET TYPE "C"
 GRATE EL. 31.00
 EAST INV. EL. 27.59
 BASIN AREA=0.273 Ac (PERVIOUS AREA=0.043 Ac)
- S-6 GRATE INLET TYPE "C"
 GRATE EL. 30.50
 WEST INV. EL. 26.74
 SOUTH INV. EL. 26.64
 SW INV. EL. 26.74
 BASIN AREA=0.555 Ac (PERVIOUS AREA=0.029 Ac)
- S-7 SEDIMENT SUMP STRUCTURE
 RIM EL. 30.80
 EAST INV. EL. 26.00 (PIPE IN)
 WEST INV. EL. 26.00 (VAULT OPENING)
 BAFFLE BOTTOM EL. 25.00
 BOTTOM EL. 24.00
 BASIN AREA=0.138 Ac (PERVIOUS AREA=0.009 Ac)
- S-8 STORMWATER VAULT INLET
 WEST INV. EL. 28.00
 BASIN AREA=0.023 Ac
- S-9 STORMWATER VAULT OUTLET
 SOUTH INV. EL. 25.00
- S-10 EXIST. ROUND JUNCTION BOX WITH MH LID
 RIM EL. 31.80
 NORTH INV. EL. 25.53
 EAST INV. EL. 24.98
 WEST INV. EL. 24.97
 SOUTHEAST INV. EL. 22.85

NOTE:

ALL LANDSCAPE BEDS TO BE MULCHED SHALL BE ROUGH GRADE TO AN ELEVATION 8 TO 9 INCHES BELOW THE TOP OF THE ADJACENT HARDSCAPE OR FINAL FINISH GRADE TO PROVIDE ROUGH 4 INCHES OF TOPSOIL, 2 INCHES OF MULCH WITH A 2 INCH REVEAL ON THE CURB OR ADJOINING SIDEWALK. SEE LANDSCAPE PLANS FOR LOCATION OF LANDSCAPE BED AND SOD AREAS.

ALL SODDED AREAS SHALL BE ROUGH GRADE TO AN ELEVATION 5 TO 6 INCHES BELOW THE TOP OF THE ADJACENT HARDSCAPE OR FINAL FINISH GRADE TO ALLOW FOR 4 INCHES OF TOP SOIL AND 1 TO 1.5 INCHES OF SOD. LANDSCAPE PLANS FOR LOCATION OF LANDSCAPE BED AND SOD AREAS.

LEGEND:

- WM EXISTING WATER METER
- SCO EXISTING SANITARY CLEANOUT
- WV EXISTING WATER VALVE
- CPP EXISTING CONCRETE POWER POLE
- FH EXISTING FIRE HYDRANT
- WPP EXISTING WOOD POWER POLE
- MLP EXISTING METAL LIGHT POLE
- AS NOTED EXISTING SIGN AS NOTED
- MH EXISTING MANHOLE AS NOTED
- SSMH EXISTING SANITARY SEWER MANHOLE
- GRATE INLET EXISTING CURB OR GRATE INLET
- UTILITY LINES EXISTING OVERHEAD UTILITY LINES
- UNDERGROUND GAS LINE MARKER EXISTING UNDERGROUND GAS LINE MARKER
- AS NOTED EXISTING TREE AS NOTED
- BASELINE BOUNDARY
- PROPOSED GRATE INLET
- PROPOSED GRADES
- PROPOSED JUNCTION BOX
- CONCRETE SURFACE
- TRUCK PAVEMENT

BASKERVILLE-DONOVAN, INC.
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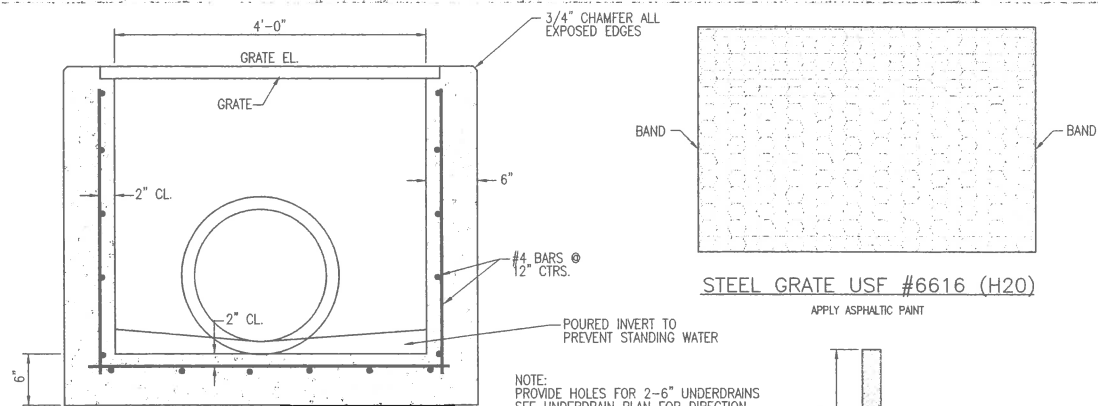
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 DESIGNED BY: JCS
 DRAWN BY: EG
 CHK'D BY: MEW
 PROJ. MGR: MEW
 DATE: 05/2008

CONSTRUCTION PLANS
 PAVING, GRADING AND
 DRAINAGE PLAN

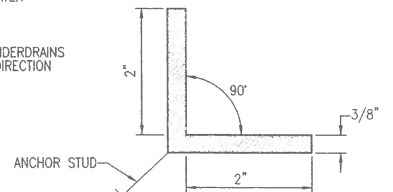
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WAYNE E. WHITE
 P.E. NO. 53232

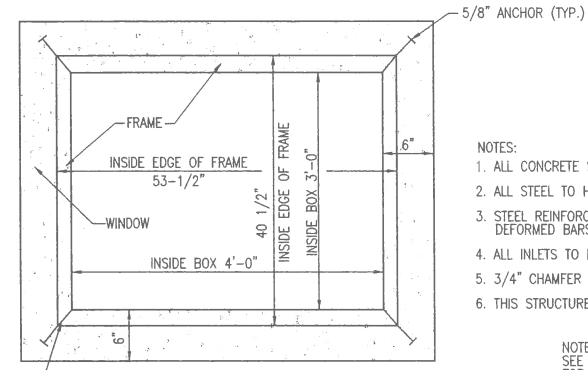


NOTE: PROVIDE HOLES FOR 2-6" UNDERDRAINS SEE UNDERDRAIN PLAN FOR DIRECTION AND INVERT ELEVATION.

STEEL GRATE USF #6616 (H20)
APPLY ASPHALTIC PAINT



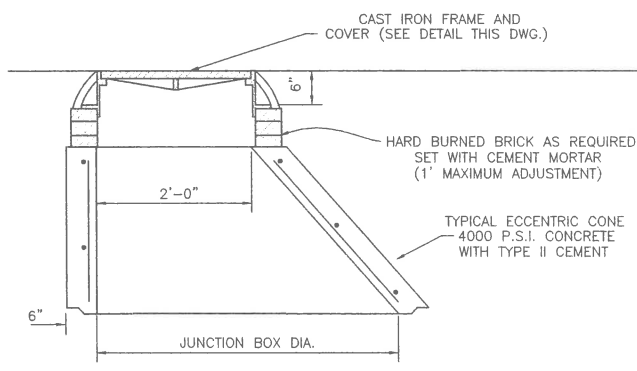
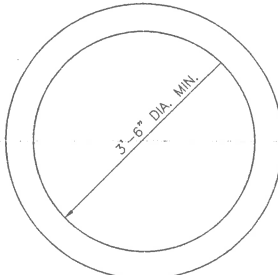
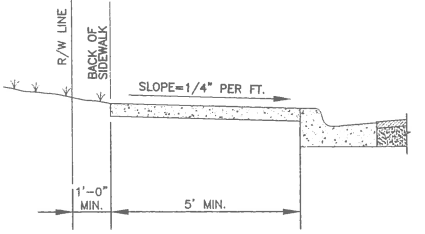
STEEL FRAME DETAIL
(ALL FOUR SIDES WELDED TOGETHER)
APPLY ASPHALTIC PAINT



- NOTES:
1. ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 3000 P.S.I. @ 28 DAYS.
 2. ALL STEEL TO HAVE A MINIMUM 2" CLEARANCE UNLESS OTHERWISE NOTED.
 3. STEEL REINFORCEMENT SHALL MEET ASTM SPECIFICATIONS (A-615), DEFORMED BARS.
 4. ALL INLETS TO HAVE FIELD POURED INVERTS TO ELIMINATE STANDING WATER.
 5. 3/4" CHAMFER ALL EXPOSED EDGES.
 6. THIS STRUCTURE AND FRAME AND GRATE ARE SUITABLE FOR VEHICULAR LOADING.

NOTE: SEE PAVING, DRAINAGE AND GRADING PLANS FOR PIPE SIZE, DIRECTION AND ELEVATIONS.

GRATE INLET DETAIL



LID SECTION
TYPE 8 (TRAFFIC) (H-20)

- NOTE:
- (1) ALL CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF AT LEAST 4000 P.S.I. @ 28 DAYS.
 - (2) REINFORCING SHOWN IS THE MINIMUM REQUIRED. IF DIMENSIONS OF BOX REQUIRES ADDITIONAL REINFORCING, IN ORDER TO CARRY DESIGN LOADS, MANUFACTURER SHALL PROVIDE ADDITIONAL REINFORCING AS REQUIRED.

** PERIPHERAL BARS OR STRAIGHT END EMBEDMENTS MAY BE USED IN LIEU OF STANDARD HOOKS, IN ACCORDANCE WITH DETAILS INDEX NO. 201, SHI. 3 OF 8.

STANDARAD JUNCTION BOX DETAIL

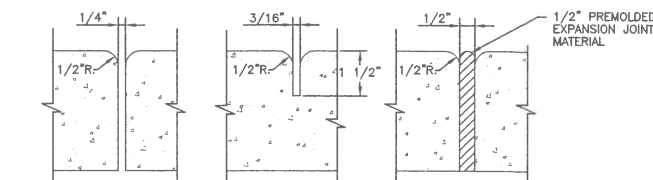


TABLE OF SIDEWALK JOINTS	
TYPE	LOCATION
'A'	P.C. AND P.T. OF CURVES, JUNCTION OF EXISTING AND NEW SIDEWALKS.
'B'	5'-0" CENTER TO CENTER ON SIDEWALKS.
'C'	WHERE SIDEWALK ABUTS CONCRETE CURBS, DRIVEWAYS AND SIMILAR STRUCTURES AT INTERVALS NOT TO EXCEED 60 FT.

TABLE OF SIDEWALK THICKNESS-T"	
LOCATION	T"
RESIDENTIAL AREAS	4"
RESIDENTIAL AREAS	6"

- NOTE:
1. ALL ORGANIC MATERIAL AND DEBRIS SHALL BE REMOVED AND AREA GRADED AND COMPACTED PRIOR TO CONCRETE PLACEMENT.
 2. THE MINIMUM COMPRESSIVE STRENGTH OF THE CONCRETE SHALL BE 2,500 P.S.I. @ 28 DAYS
 3. TYPE "A" AND "B" JOINTS MAY BE SAW CUT.

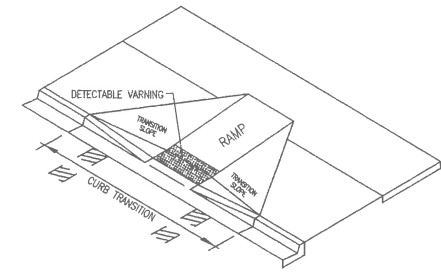
SIDEWALK JOINTS

GENERAL NOTES

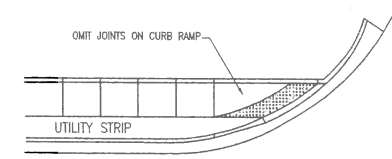
1. Public sidewalk curb ramps shall be constructed in the public right of way at locations that will provide continuous unobstructed pedestrian circulation paths to pedestrian areas, elements and facilities in the public right of way and to accessible pedestrian routes on adjacent streets. Curb facilities with sidewalks and those without sidewalks are to have curbs constructed of all street intersections and turnouts that have curbed returns. Parallel curb returns shall extend to the limit prescribed by Index No. 315 to accommodate curb ramps. Ramps constructed at locations without sidewalks shall have a landing constructed at the top of each ramp, see Sheet 5.
 2. The location and orientation of curb ramps shall be as shown in the plans.
 3. Curb ramp running slopes of unrestrained sites shall not be steeper than 1:6 and cross slope shall be 0.00' or flatter. Transition slopes shall not be steeper than 1:12.
- When altering existing pedestrian facilities where existing site development precludes the accommodation of a ramp slope of 1:12, a running slope between 1:12 and 1:10 is permitted for a rise of 6" maximum and a running slope of between 1:10 and 1:8 is permitted for a rise of 3" maximum. Where compliance with the requirements for cross slope cannot be fully met, the minimum feasible cross slope shall be provided.

Ramp running slope is not required to exceed 8' in length, except at sites where the plans specify a greater length.
 4. If a curb ramp is located where pedestrians must walk across the ramp, then the walk shall have transition slopes to the ramp; the maximum slope of the installations shall be 1:12. Ramps with curb returns may be used at locations where other improvements provide guidance away from that portion of curb perpendicular to the sidewalk; improvements for guidance are not required at curb ramps for linear pedestrian traffic.
 5. Curb ramp detectable warning surfaces shall extend the full width of the ramp and in the direction of travel 24" from the back of curb. Detectable warning surfaces shall be constructed in accordance with Specification 527. See Sheet 6 of 6 for detectable warning layouts. Transition slopes are not to have detectable warnings.
 6. Where a curb ramp is constructed within existing curb, curb and gutter and/or sidewalk, the existing curb or curb and gutter shall be removed to the nearest joint beyond the curb transition or to the extent that no remaining section of curb or curb and gutter is less than 5' long. The existing sidewalk shall be removed to the nearest joint beyond the transition slope or walk around or to the extent that no remaining section of sidewalk is less than 5' long. For details of Concrete Sidewalk See Index 30.
 7. Alpha-numeric identifications are for reference plans, permits, etc.
 8. Public sidewalk curb ramps are to be paid for as follows:
Ramps, reconstructed sidewalks, walk around sidewalks, sidewalk landings and sidewalk curbs are to be paid for under the contract unit price for Sidewalk Concrete, I-1, 738.1, 51. Curb transitions and reconstructed curbs are to be paid for under the contract unit price for the parent curb, i.e., Curb Conv., I Type - 1, U- or Curb and Gutter Conc I Type - 1, U-.

When a separate pay item for the removal and disposal of existing curb, curb and gutter, and/or sidewalk is not provided in the plans, the cost of removal and disposal of these features shall be included in the contract unit price for new curb, curb and gutter and/or sidewalk respectively.
 9. Acceptance Criteria for Detectable Warnings:
(a) The ramp detectable warning surface shall be complete and uniform in color and texture.
(b) 95% of the individual protruded domes must comply with the design criteria.
(c) There may be no more than 4 non-complying domes in any one square foot of surface.
(d) No two adjacent domes may be non-complying.
(e) Surface may not deviate more than 0.04" from a true plane.
 10. All sidewalk surfaces, ramp surfaces, and landings with a cross slope shown in this Index to be 0.02' shall be 0.02' maximum. All ramp surfaces and ramp transition slopes with a slope shown in this Index to be 1:12 shall be 1:12 maximum.

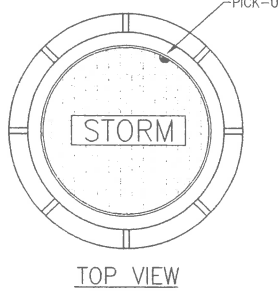


CURB RAMP NOMENCLATURE
PICTORIAL VIEW

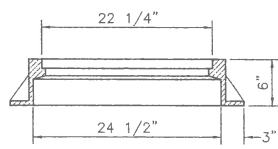


LINEAR SIDEWALK RAMPS

PUBLIC SIDEWALK CURB RAMPS (FDOT INDEX 304)

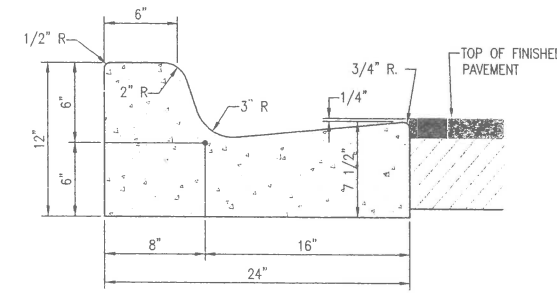


TOP VIEW



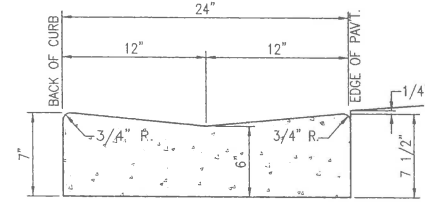
FRAME AND COVER SECTION

(WHEEL LOAD H-20)



TYPE "F" CURB AND GUTTER

RIGHT OF WAY

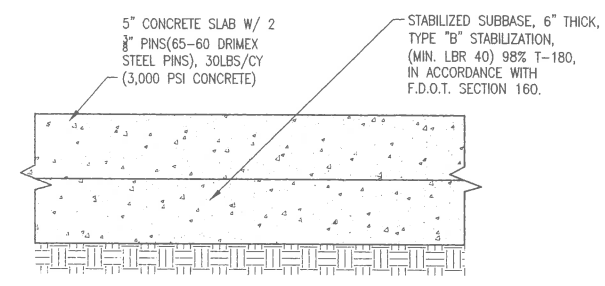


DROP CURB SECTION

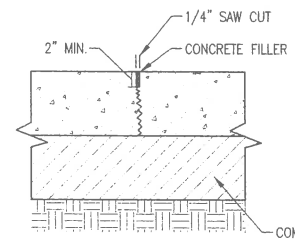
RIGHT OF WAY

NOTES

1. CONCRETE PAVEMENT TO BE 4,000 PSI, AIR ENTRAINED, WITH FIBER MESH REINFORCEMENT. MAXIMUM SLUMP TO BE NO MORE THAN 4".
2. ALL CONCRETE TO BE WOOD FLOATED, STEEL TROWELED. FINISH TO BE MEDIUM BROOM FINISH.
3. WHERE TRENCH DRAINS ARE NECESSARY, THEY SHOULD BE DOWELED OR KEYWAYED TO THE DRIVEWAY SLAB.
4. CONTRACTOR SHALL PROVIDE A GENERAL JOINT LAYOUT PLAN. JOINTS SHALL BE PLACED TO CONTROL RANDOM CRACKING, FACILITATE BREAKS IN CONSTRUCTION ACTIVITY, AND DELINEATE DRIVING LANES. THE CONTRACTOR SHALL COORDINATE ANY SIGNIFICANT DEVIATION FROM THE ACCEPTED JOINT LAYOUT WITH THE ENGINEER PRIOR TO CONSTRUCTION.
5. JOINTS SHALL BE CONSTRUCTED RADIAL TO PAVEMENT EDGES. RADIAL SEGMENTS SHALL BE A MINIMUM OF 2". JOINTED SECTIONS SHALL BE 10'x10' AREA.
6. PLACE VISQUINE VAPOR BARRIER BELOW ALL CONCRETE. FINISH TOP OF CONCRETE WITH DISSIPATING CURING SEALANT.

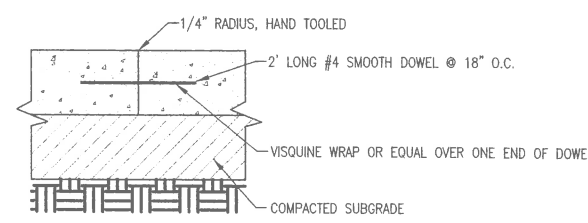


CONCRETE PAVEMENT SECTION

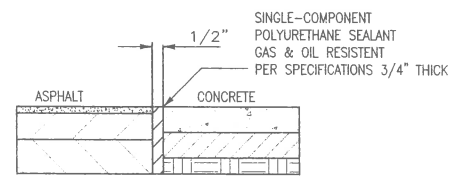


- NOTES
- THOROUGHLY CLEAN JOINT OF ALL SAND, SOIL AND MISCELLANEOUS DEBRIS. APPLY MASKING TAPE ALONG SIDES OF JOINT FOR TEMPORARY PROTECTION DURING SEALANT APPLICATIONS. APPLY FULL BEAD OF VULKEM 116 OR 245 (NON SLAG) POURABLE SEALANT AND TOOL LIGHTLY.

TYPICAL CONCRETE SAW-CUT
TYPE "A" JOINT



TYPICAL TIED LONGITUDINAL
TRANSVERSE CONSTRUCTION
JOINT
TYPE "B" JOINT



CONCRETE PAVEMENT TO
ASPHALT CONNECTION DETAIL

WAYNE E. WHITE
P.E. NO. 53232

BASKERVILLE-DONOVAN, INC.
INNOVATIVE INFRASTRUCTURE SOLUTIONS
PENSACOLA • PANAMA CITY • TALLAHASSEE • MOBILE
6000 Cattleidge Drive, SUITE 300
SARASOTA, FLORIDA 34232 - (941) 316-0411
ENGINEERING BUSINESS: EB-0000940

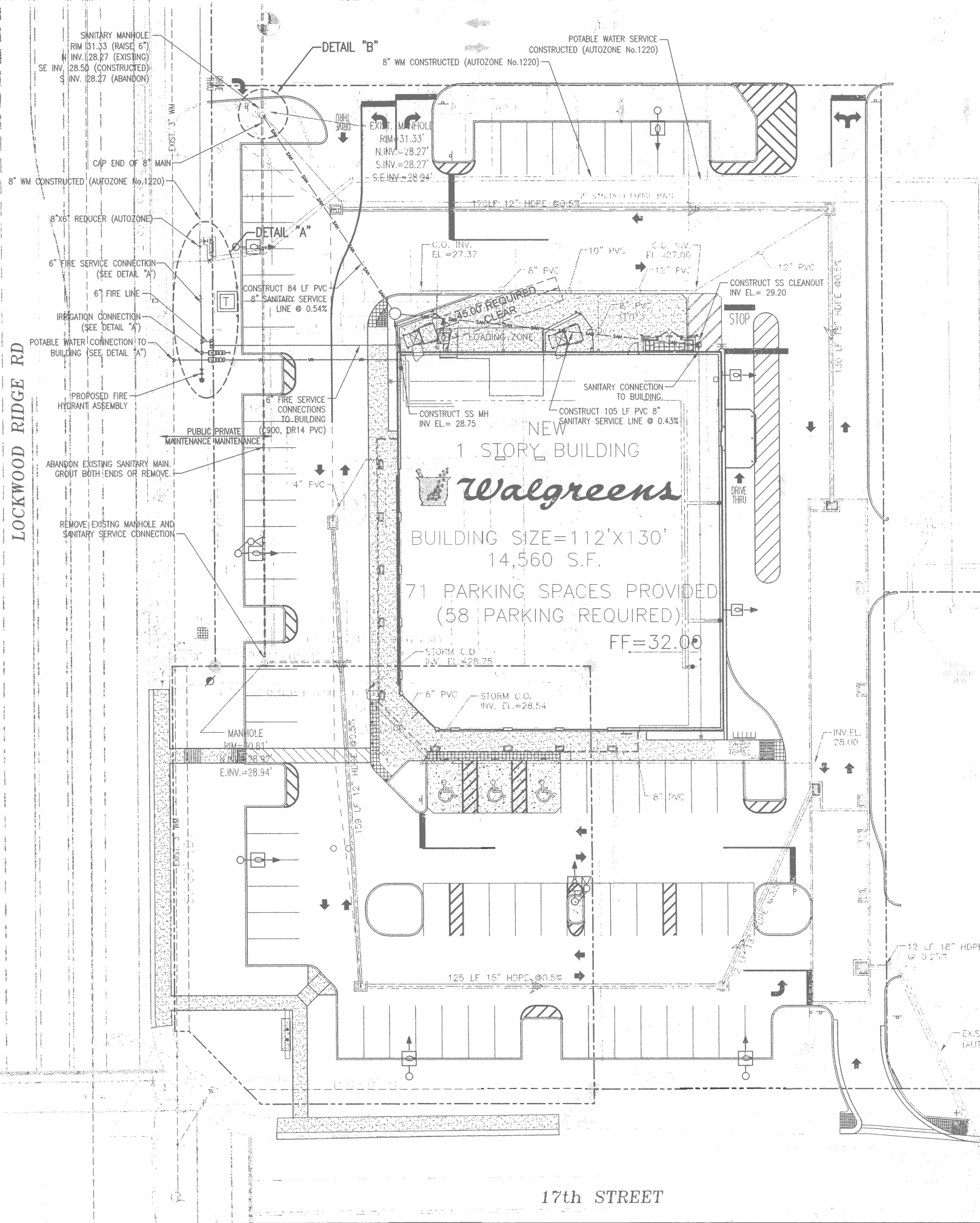
LOCKWOOD 17, LLC.
2920 HIBISCUS DRIVE WEST
BELLEAIR BEACH, FL 33786
WALGREENS No.02085

NO.	DATE	APPR.	REVISION / ACTION TAKEN
1	07/06/07	JCS	REVISED PER COUNTY & SFWMD COMMENTS

PROJECT NO: 074601.01
DESIGNED BY: JCS
DRAWN BY: EG
CHK'D BY:
PROJ. MGR: NEW
DATE: 04/2008

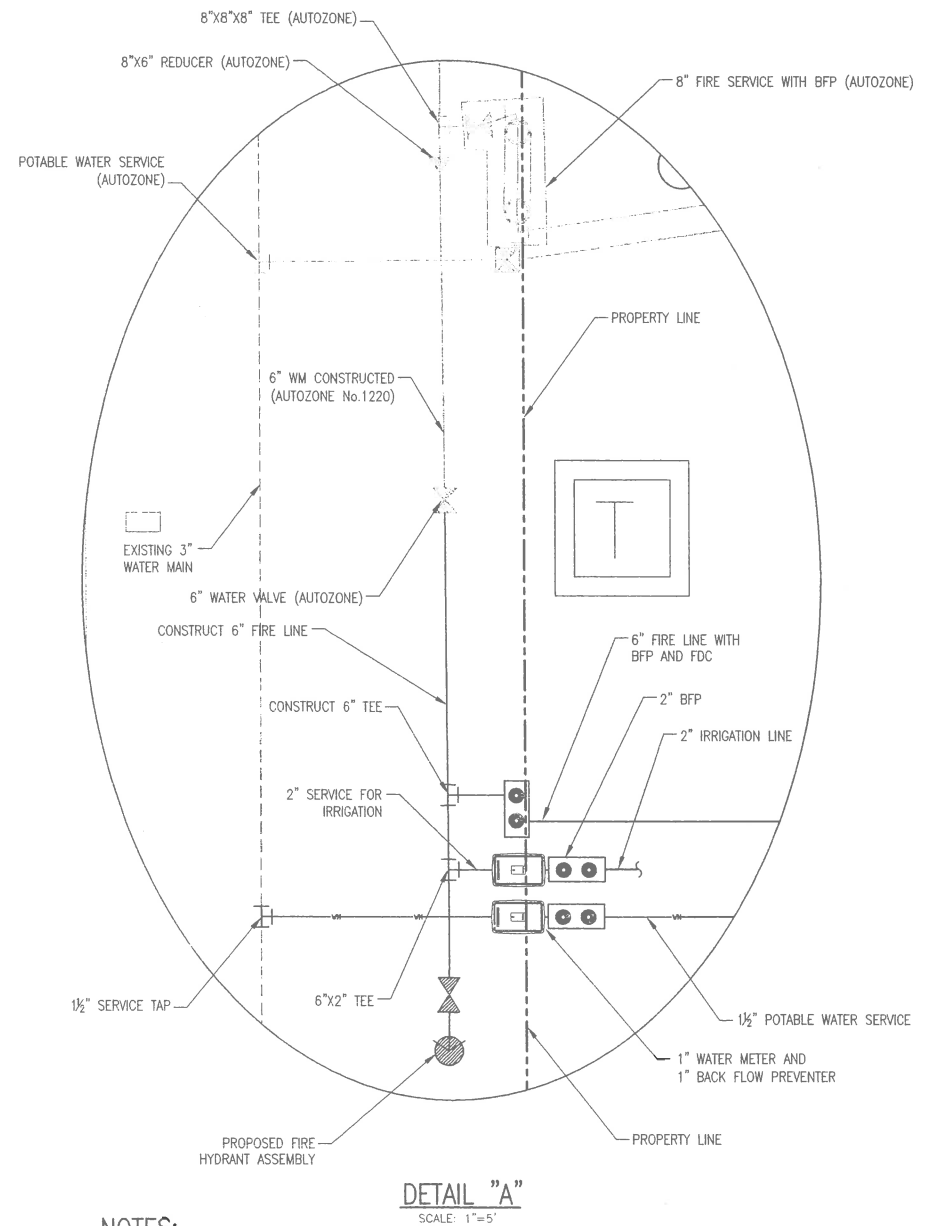
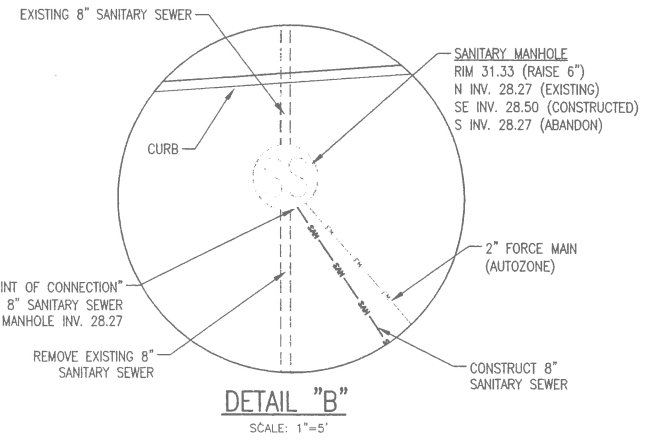
CONSTRUCTION PLANS
PAYING AND GRADING
DETAILS
C-05

LOCKWOOD RIDGE RD



17th STREET

NORTH



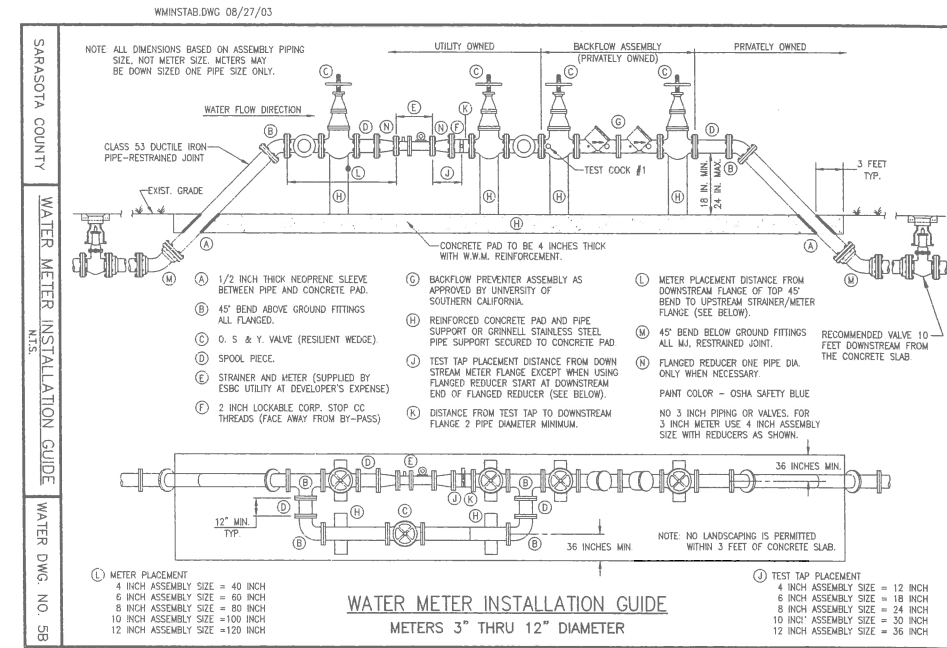
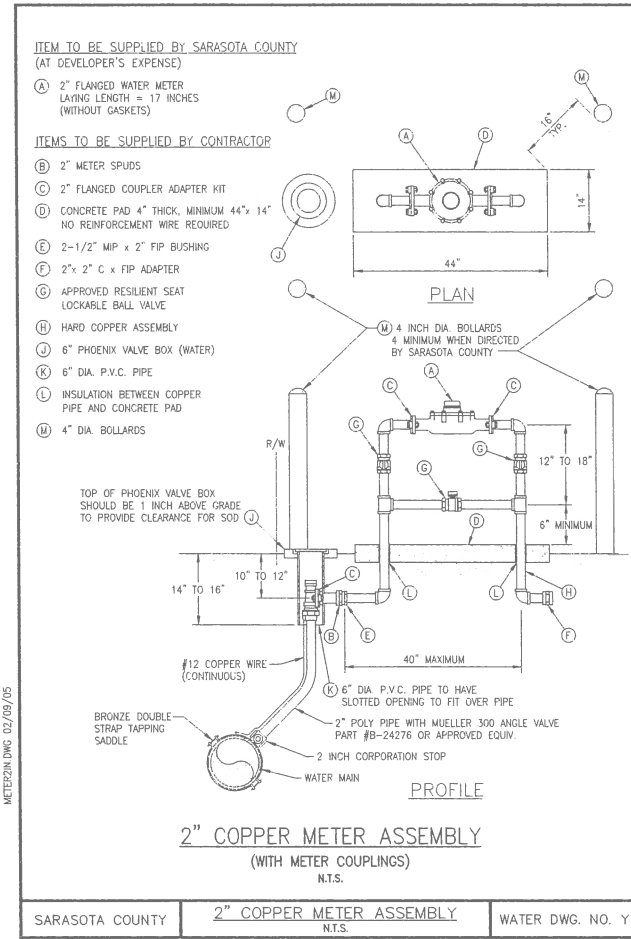
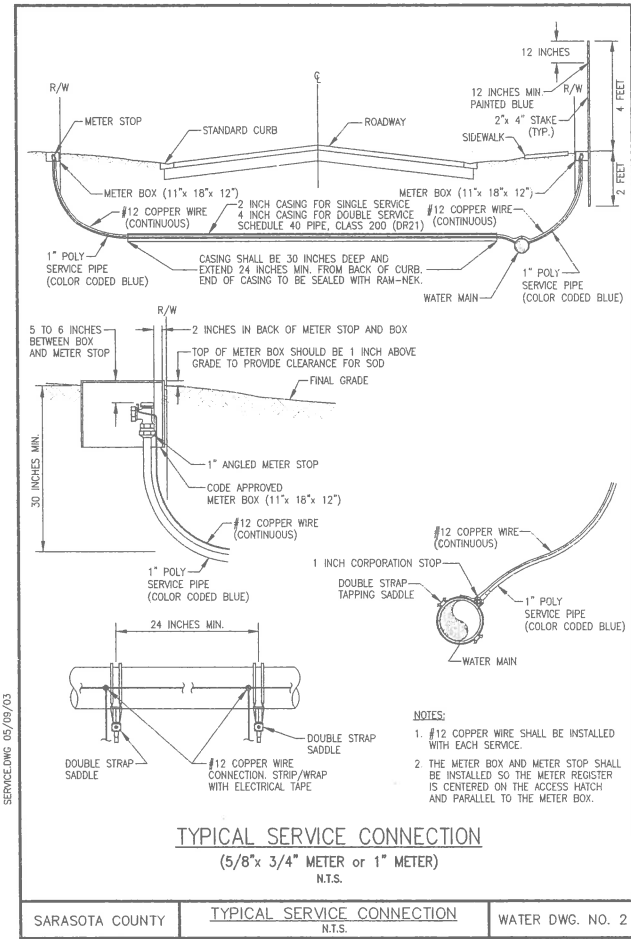
NOTES:

1. THIS PROJECT REQUIRES DEP WATER CONSTRUCTION PERMITS, OBTAINED BY THE ENGINEER.
2. THIS PROJECT REQUIRES SARASOTA UTILITIES CONSTRUCTION PERMITS, OBTAINED BY THE CONTRACTOR.
3. PROPERTIES WHICH PROPOSE TO BE CONNECTED TO CENTRAL WATER MUST HAVE THE PROPER BACKFLOW PREVENTION DEVICE INSTALLED AND CERTIFIED ON THE CENTRAL WATER CONNECTION.
4. RESTRAIN 6\"/>

NO.	DATE	APPR.	REVISION/ACTION TAKEN
1	07/06/07	JCS	REVISED PER COUNTY & SFWMD COMMENTS
2	09/18/07	JCS	REVISED PER SC UTILITY COMMENTS
3	09/26/07	JCS	REVISED PER SC UTILITY DEPT COMMENTS
4	12/12/07	EG	REVISED PER AUTOZONE WATER DESIGN
5	05/20/08	NEW	REVISED DRIVE THRU
6	07/28/08	NEW	REVISED UTILITY SERVICES CONNECTIONS

PROJECT NO: 074601.01
 DESIGNED BY: JCS
 DRAWN BY: EG
 CHK'D BY:
 PROJ. MGR: NEW
 DATE: 04/2008

CONSTRUCTION PLANS
 MASTER UTILITY PLAN



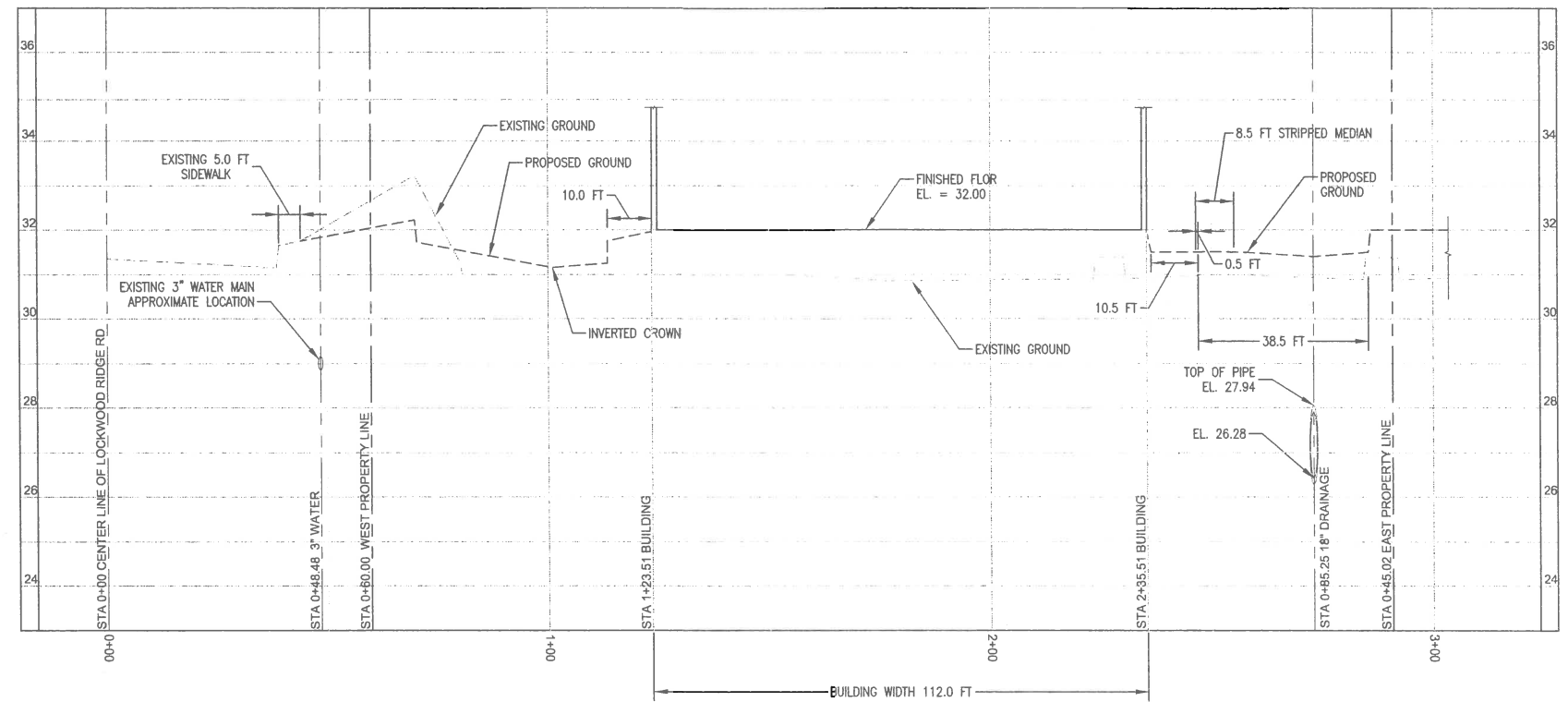
NO.	DATE	APPR.	REVISION/ACTION TAKEN	
			REVISED PER COUNTY & SFWMD COMMENTS	REVISED PER SC UTILITY DEPT. COMMENTS
1	07/06/07	JCS		
2	08/26/07	JCS		

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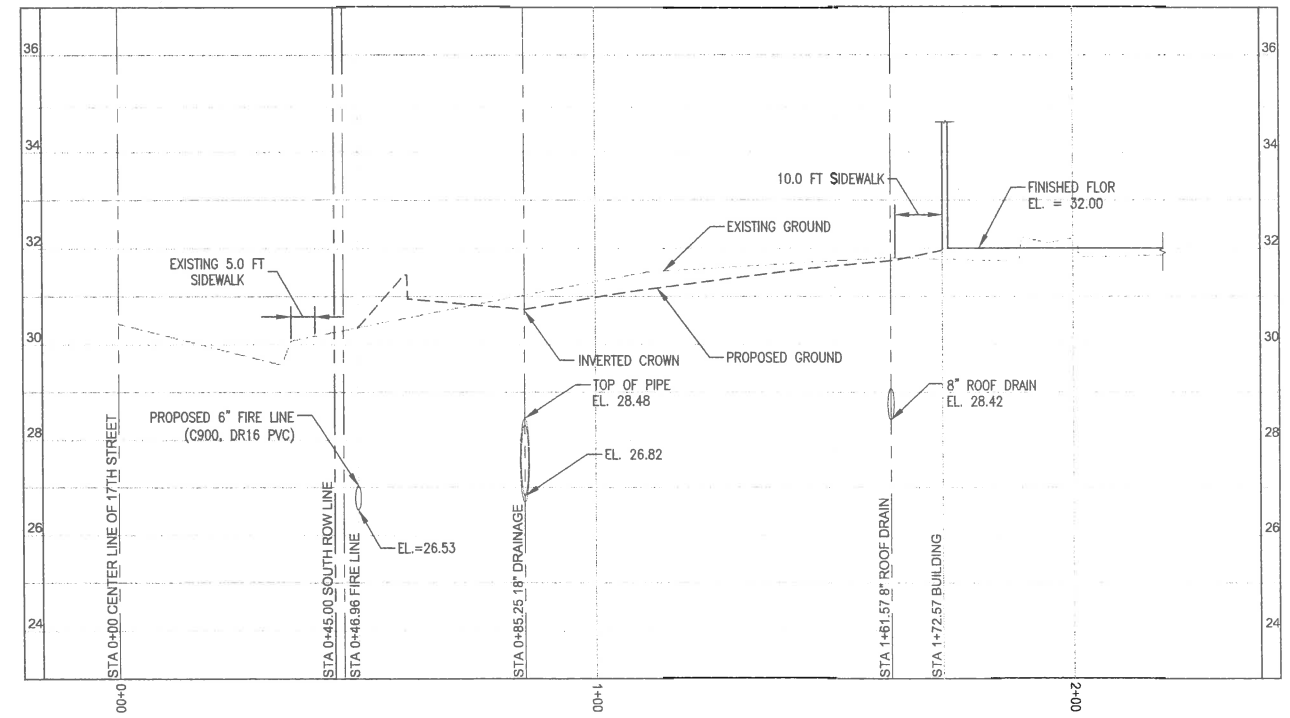
PROJECT NO:	074601.01
DESIGNED BY:	JCS
DRAWN BY:	EG
CHK'D BY:	WVW
PROJ. MGR:	WVW
DATE:	04/2008

CONSTRUCTION PLANS
 UTILITY DETAILS

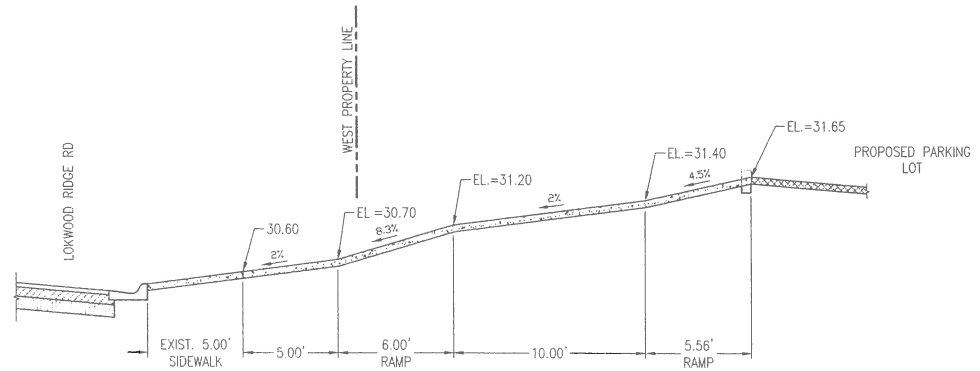
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1 SECTION
4 11 SCALE: 1"=20'



3 SECTION
4 11 SCALE: 1"=20'



2 SIDEWALK-RAMP CENTERLINE PROFILE
4 11 N.T.S.

NO.	DATE	APPR.	REVISION/ACTION TAKEN
1	07/06/07	JCS	REVISED PER COUNTY & SHFIMD COMMENTS

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DRAWN BY:	EG
CHK'D BY:	WJW
PROJ. MGR:	WJW
DATE:	04/2008

